

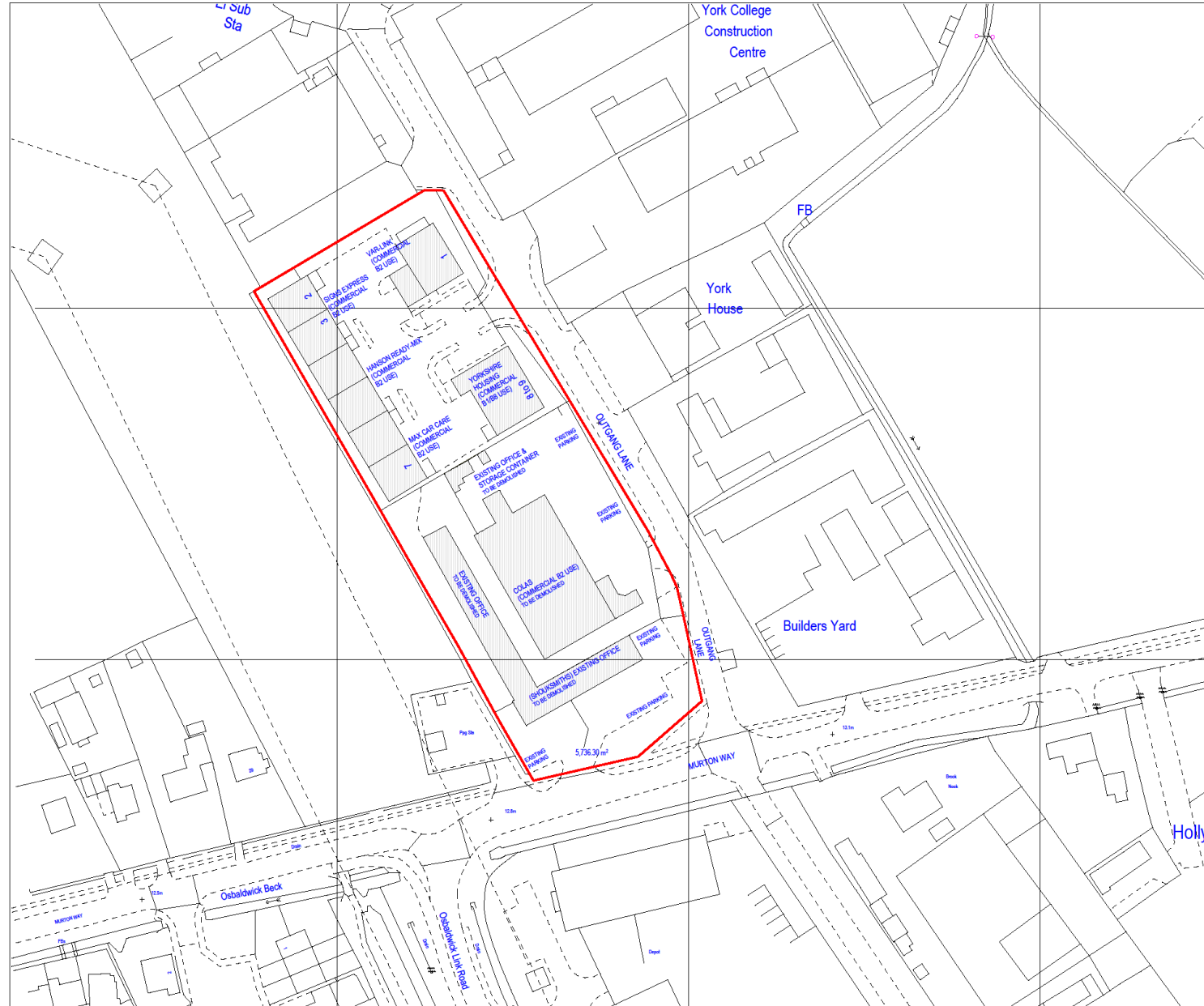


Planning Committee A

22/00015/FULM

J H Shouksmith And Sons Ltd Murton Way

Existing site plan



PLANNING NOTES
 This plan has been prepared from the drawings for the proposed development. All dimensions are taken from the site plan and are subject to change. The drawings are prepared for the purpose of providing information and are not intended to be used as a contract document. The drawings are prepared for the purpose of providing information and are not intended to be used as a contract document. The drawings are prepared for the purpose of providing information and are not intended to be used as a contract document.

WARNING TO BUSINESS/PROFESSIONALS
 CONSUMERS PROTECTION FROM UNFAIR TRADING REGULATIONS 2008 (CPR) AND THE BUSINESS PROTECTION FROM MISLEADING MARKETING REGULATIONS 2008 (BPRM)
 Please be aware that this is a marketing drawing and is not intended to be used as a contract document. The drawings are prepared for the purpose of providing information and are not intended to be used as a contract document. The drawings are prepared for the purpose of providing information and are not intended to be used as a contract document.

THE PLANNING ACT 1990
 The Town and Country Planning Act 1990 (as amended) and the Town and Country Planning Regulations 2004 (as amended) apply to the development. The drawings are prepared for the purpose of providing information and are not intended to be used as a contract document. The drawings are prepared for the purpose of providing information and are not intended to be used as a contract document.

The Planning & Design Associates
 PLANNING ARCHITECTURE INTERIORS LANDSCAPE

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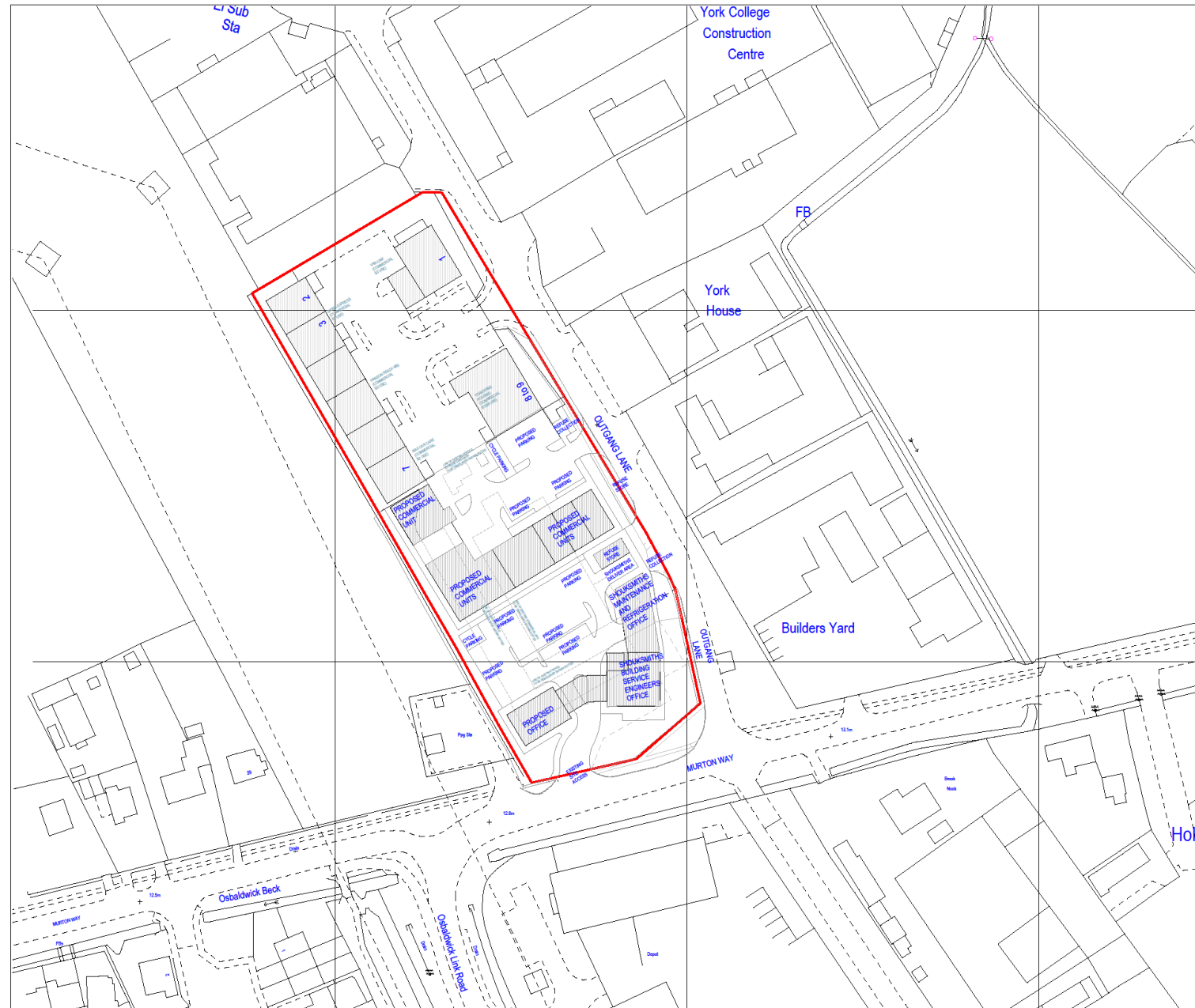
Client:
JH SHOUKSMITH & SONS LTD
 MURTON WAY, YORK, YO19 5GS

Project:
PROPOSED COMMERCIAL DEVELOPMENT
 MURTON WAY, YORK, YO19 5GS

Drawing:
EXISTING BLOCK PLAN

Date: 03 Oct 2019
 Scale: 1:500 @ A1
 Drawing: **PLANNING**
 Drawing No: **SHO-570-001**

Proposed site plan



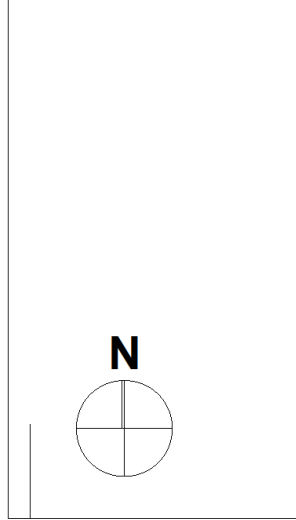
PLANNING NOTES
 The site plan is a representation of the planning application process. All dimensions and measurements shall be checked on site. Submissions of any nature shall be checked to ensure compliance with all requirements, including any special conditions of the planning process. Any errors or omissions shall be corrected immediately. The drawings are prepared by the applicant and are not to be regarded as a guarantee of the accuracy of the information contained therein.

WARNING TO HOMEOWNERS
 CONSUMER PROTECTION FROM UNFAIR TRADING REGULATIONS 2008 (CPSR) AND THE BUSINESS PROTECTION FROM MISLEADING MARKETING REGULATIONS 2008 (BPMR)
 Please be aware that this is a residential development and is not intended to be used as a residential development. It is intended to be used as a commercial development. Any use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited.

THE PARTY WALL ACT 1996
 The Party Wall Act 1996 and other regulations for Party Walls and Building Regulations Approved Documents apply to the proposed development. The use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited.

The Party Wall Act 1996 and other regulations for Party Walls and Building Regulations Approved Documents apply to the proposed development. The use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited. The use of the site as a residential development is prohibited.

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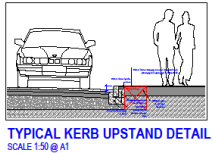
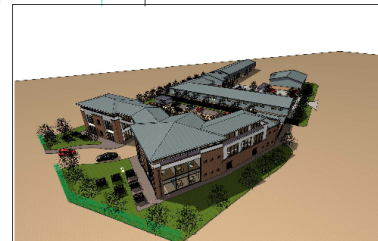


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Client:	JH SHOUKSMITH & SONS LTD MURTON WAY, YORK, YO19 5SS	
Project:	PROPOSED COMMERCIAL DEVELOPMENT MURTON WAY, YORK, YO19 5SS	
Drawing:	PROPOSED BLOCK PLAN	
Date:	03 Oct 2019	Drawn
Scale:	Scale 1:500 @ A1	Rev. B
Status:	PLANNING	
Draw. No.:	SHO-570-001	



REMARKS:
 Information from the Design Statement is provided for information only. All dimensions for materials and construction shall be checked on site. The building of any work shall be checked to ensure that all dimensions are in accordance with the design. The Design Statement shall be approved by the Planning Committee. The Design Statement shall be approved by the Planning Committee. The Design Statement shall be approved by the Planning Committee.

WARNING TO DEVELOPERS:
 CONSUMER PROTECTION FROM UNFAIR TRADING REGULATIONS 2008 (CPR) AND THE BUSINESS PROTECTION FROM MISLEADING MARKETING REGULATIONS 2008 (BPMR)
 It is the responsibility of the developer to ensure that the design and construction of the development complies with the requirements of the CPR and BPMR. The developer shall ensure that the design and construction of the development complies with the requirements of the CPR and BPMR. The developer shall ensure that the design and construction of the development complies with the requirements of the CPR and BPMR.

TIER 1 & 2 WALL ACT 1994
 The Tier 1 & 2 Wall Act 1994 requires that any wall or fence over 1.1m high must be constructed in accordance with the requirements of the Act. The developer shall ensure that any wall or fence over 1.1m high is constructed in accordance with the requirements of the Act. The developer shall ensure that any wall or fence over 1.1m high is constructed in accordance with the requirements of the Act.

As with all planning applications, it is a condition of any planning permission that the applicant shall ensure that the development complies with the requirements of the Act. The developer shall ensure that the development complies with the requirements of the Act. The developer shall ensure that the development complies with the requirements of the Act.

TOTAL ACCOMMODATION A

Shouksmiths (Building Service Engineers)	
GROUND FLOOR	211.83m ² /2,217 sq ft
FIRST FLOOR	288.62m ² /3,093 sq ft
SECOND FLOOR	148.62m ² /1,587 sq ft
SUB TOTAL	611.67m²/6,584 sq ft
Shouksmiths (Maintenance and Refrigeration)	
GROUND FLOOR	82.38m ² /887 sq ft
FIRST FLOOR	89.69m ² /965 sq ft
SECOND FLOOR	75.12m ² /809 sq ft
SUB TOTAL	247.19m²/2,661 sq ft
REMAINING OFFICE SPACE	
GROUND FLOOR	91.37m ² /984 sq ft
FIRST FLOOR	91.84m ² /989 sq ft
SECOND FLOOR	138.12m ² /1,487 sq ft
SUB TOTAL	322.33m²/3,470 sq ft
1,181.19m²/12,714sq ft OFFICE SPACE	
40 CAR PARKING SPACES	
22 CYCLE SPACES	
1,396.28m²/15,030 sq ft COMMERCIAL SPACE	
26 CAR PARKING SPACES (INC 6 EXTG RELOCATED)	
20 CYCLE SPACES	

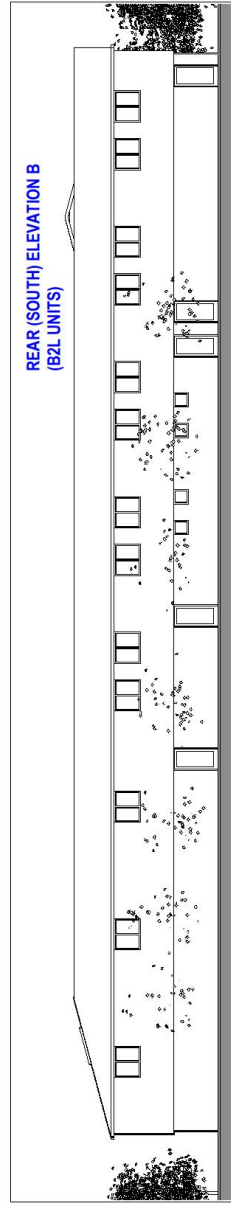
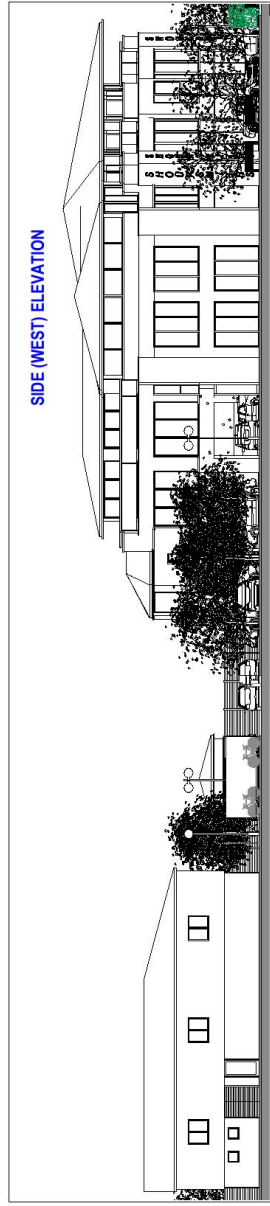
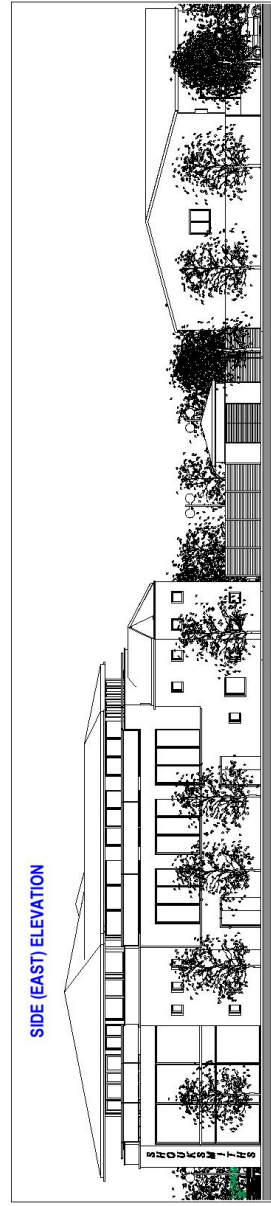
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Client	JH SHOUKSMITH & SONS LTD MURTON WAY, YORK, YO19 5GS	
Project	PROPOSED COMMERCIAL DEVELOPMENT MURTON WAY, YORK, YO19 5GS	
Drawing	PROPOSED SITE PLAN	
Date	03 Oct 2019	Drawn
Scale	1:200 @ A1	Rev: D
Status	PLANNING	
Draw No.	SHO-570-001 100	

Proposed elevations



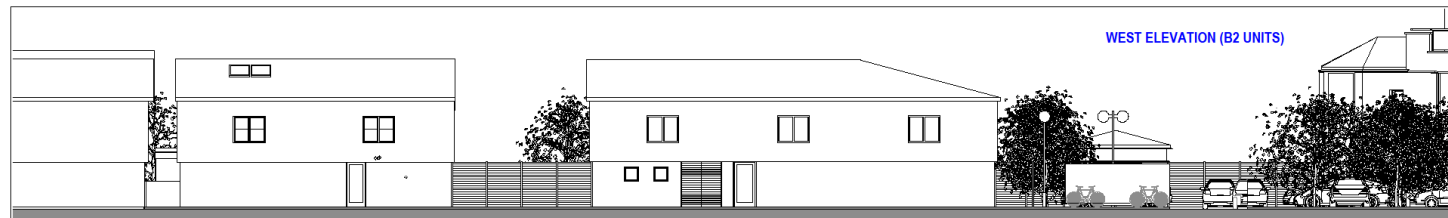
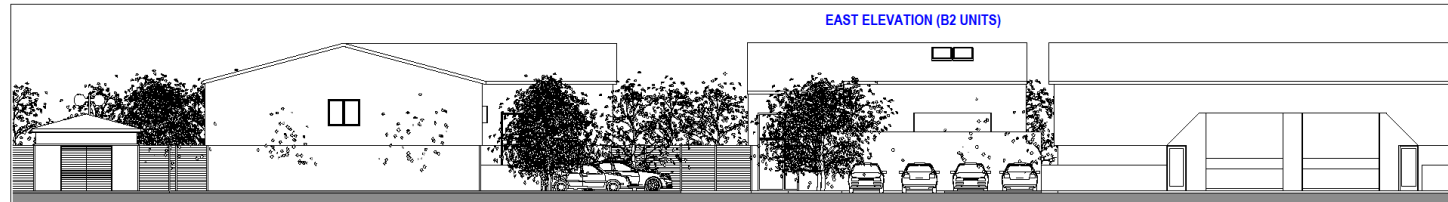
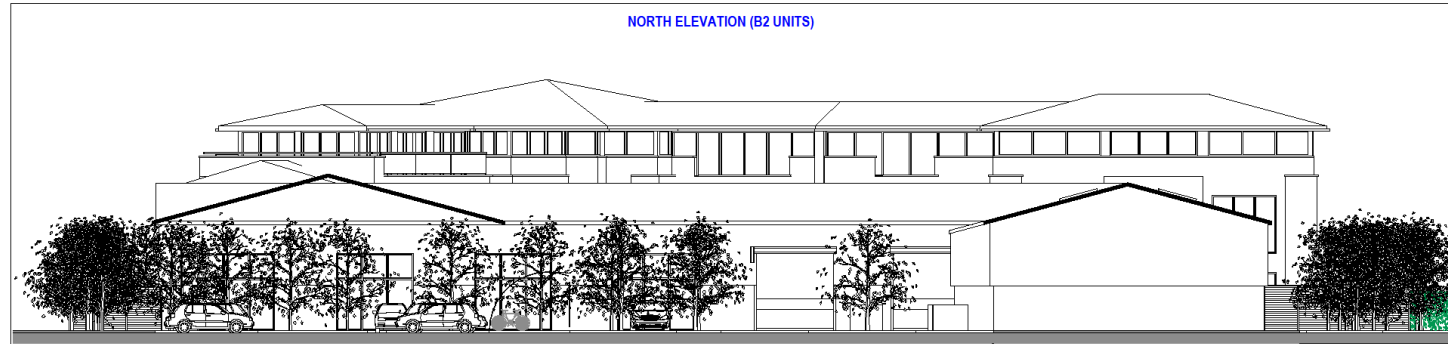
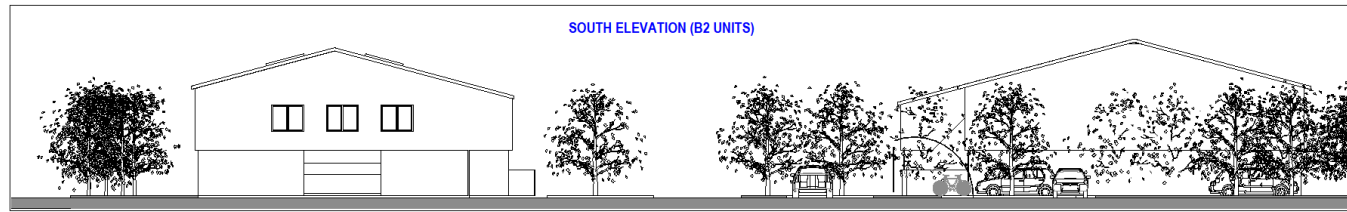
PLEASE NOTE: Information from this drawing is for planning purposes only. It is not intended to be used for any other purpose. The information provided is for information only and should not be used for any other purpose. The information provided is for information only and should not be used for any other purpose. The information provided is for information only and should not be used for any other purpose.

The Town Wall Associates office is committed to planning to do work as a business structure, for the benefit of the town and the wider community. It is not intended to be used for any other purpose. The information provided is for information only and should not be used for any other purpose.

Client	JH SHOUKSMITH & SONS LTD MARTON WAY, YORK, YO15 8SS
Project	PROPOSED COMMERCIAL DEVELOPMENT MARTON WAY, YORK, YO15 8SS
Drawn	PROPOSED ELEVATIONS SHEET 1 OF 2
Date	March 2023
Scale	1:100 @ A1
Area	PLANNING
Draw No.	SHO-570-001 201

The Planning & Design Associates
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Proposed elevations



PLEASE NOTE:
 Do not use any measurements from this drawing for construction purposes. All dimensions, tolerances and materials must be checked for use. Substitution of any materials should be checked for use and approved in writing by the architect. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing.

WARNING TO HOUSEHOLDERS
 CONSUMER PROTECTION FROM UNFAIR TRADING REGULATIONS 2008 (CPSR) AND THE BUSINESS PROTECTION FROM MISLEADING MARKETING REGULATIONS 2008 (BPSR):
 Before we proceed that this is a building drawing and it is not intended to be used as a document, intended for use in any way other than for the purposes of the design process. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing.

THE PARTIAL ACT 1996
 The Part 196 Act does not affect any requirements for Planning Permission or Building Regulations. Approval for use must be obtained from the Local Planning Authority and the Building Regulations. Approval for use must be obtained from the Local Planning Authority and the Building Regulations. Approval for use must be obtained from the Local Planning Authority and the Building Regulations.

The Part 196 Act does not affect any requirements for Planning Permission or Building Regulations. Approval for use must be obtained from the Local Planning Authority and the Building Regulations. Approval for use must be obtained from the Local Planning Authority and the Building Regulations. Approval for use must be obtained from the Local Planning Authority and the Building Regulations.

* A wall forming part of any one building but which is not the boundary line between any two buildings.
 * A wall which is common to two or more buildings, this includes other common walls and a common chimney.
 * A wall which is common to two or more buildings, this includes other common walls and a common chimney.
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Client	
JH SHOUKSMITH & SONS LTD MURTON WAY, YORK, YO19 5GS	
Project	
PROPOSED COMMERCIAL DEVELOPMENT MURTON WAY, YORK, YO19 5GS	
Drawing	
PROPOSED ELEVATIONS Sheet 2 of 2	
Date	March 2020
Scale	Scale 1:100 @ A1
Status	PLANNING
Drawn By	SHO-570-001 202
Checked By	C

Proposed ground floor plan - part



PLANNING NOTES
 The site and its surroundings have been assessed for maximum potential. All dimensions for buildings and landscaping must be checked to ensure compliance with all planning conditions and any other relevant legislation. Any dimensions shown are for information only and should not be used for construction purposes. The drawings are prepared for the purpose of illustrating the proposed development and are not to be used for any other purpose.

STANDARDS TO BE OBSERVED:
 CONSUMER PROTECTION FROM UNFAIR TRADING REGULATIONS 2008
 CORES AND THE PROTECTION FROM UNFAIR TRADING REGULATIONS 2008 (CPRs)
 The drawings are prepared in accordance with the standards set out in the above regulations and any other relevant legislation. Any dimensions shown are for information only and should not be used for construction purposes.

THE PLANNING ACT 1990
 The drawings are prepared in accordance with the standards set out in the above regulations and any other relevant legislation. Any dimensions shown are for information only and should not be used for construction purposes.

THE PLANNING ACT 2008
 The drawings are prepared in accordance with the standards set out in the above regulations and any other relevant legislation. Any dimensions shown are for information only and should not be used for construction purposes.

THE PLANNING ACT 2019
 The drawings are prepared in accordance with the standards set out in the above regulations and any other relevant legislation. Any dimensions shown are for information only and should not be used for construction purposes.

TOTAL ACCOMMODATION

Shouksmiths (Building Service Engineers)
GROUND FLOOR 211.62m ² /227 sq ft
FIRST FLOOR 208.62m ² /225 sq ft
SECOND FLOOR 148.82m ² /161 sq ft
SUB TOTAL 611.67m²/6,584 sq ft
Shouksmiths (Maintenance and Refrigeration)
GROUND FLOOR 82.28m ² /887 sq ft
FIRST FLOOR 81.88m ² /882 sq ft
SECOND FLOOR 75.12m ² /809 sq ft
SUB TOTAL 247.19m²/2,661 sq ft
REMAINING OFFICE SPACE
GROUND FLOOR 91.37m ² /984 sq ft
FIRST FLOOR 91.84m ² /989 sq ft
SECOND FLOOR 128.12m ² /1,387 sq ft
SUB TOTAL 322.33m²/3,470 sq ft
1,181.19m²/12,714sq ft OFFICE SPACE
40 CAR PARKING SPACES
22 CYCLE SPACES
1,396.28m²/15,030 sq ft COMMERCIAL SPACE
26 CAR PARKING SPACES (INC 6 EXTG RELOCATED)
20 CYCLE SPACES

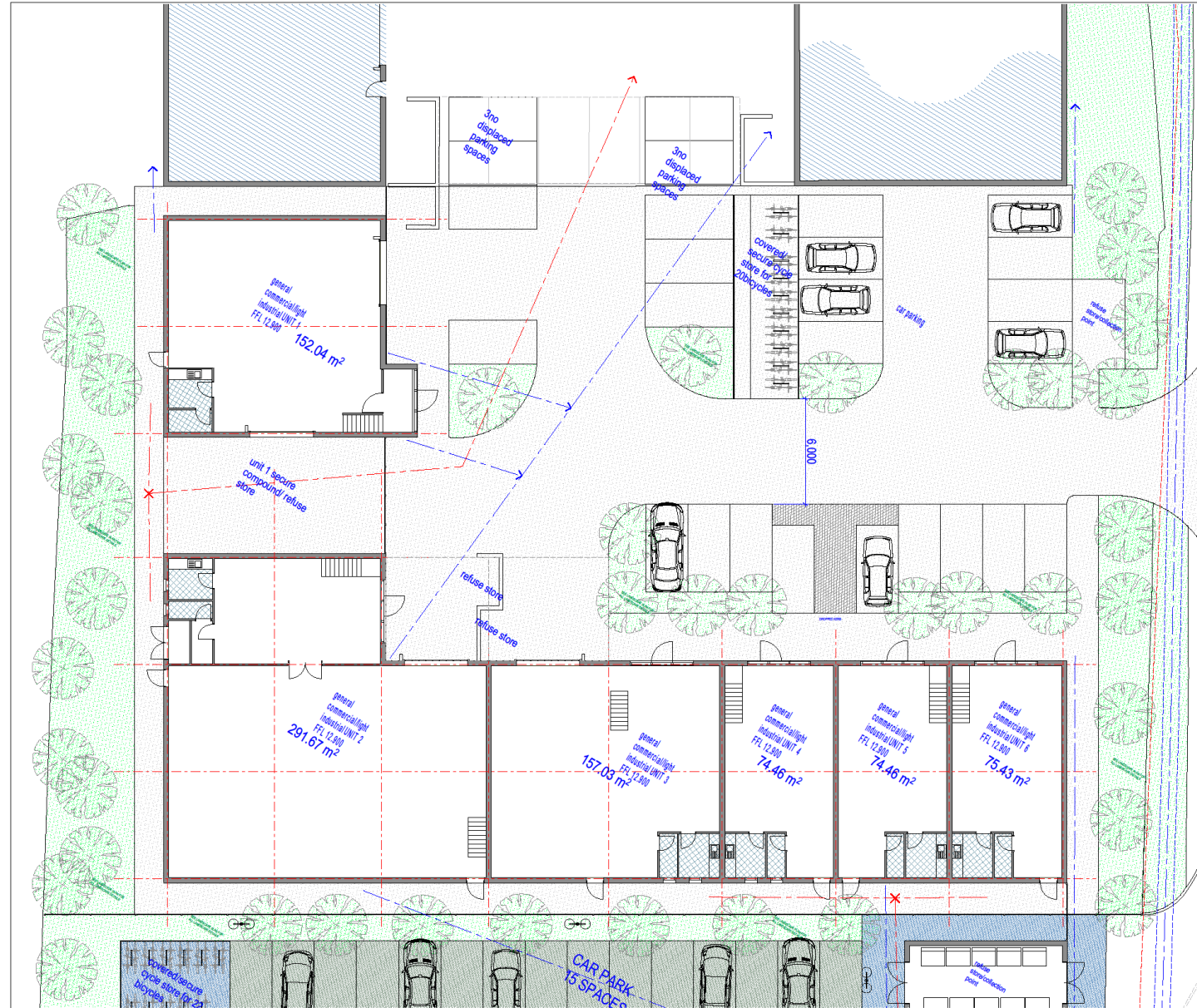
The Planning & Design Associates
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Client	JH SHOUKSMITH & SONS LTD MURTON WAY, YORK, YO19 5SS	
Project	PROPOSED COMMERCIAL DEVELOPMENT MURTON WAY, YORK, YO19 5SS	
Drawing	PROPOSED GROUND FLOOR PLAN SHEET 1 OF 2	
Date	March 2020	Drawn
Scale	Scale 1:100 @ A1	Rev C
Status	PLANNING	
Dwg. No.	SHO-570-001 101	

Ground floor plan - part



PLANNING NOTES
This plan was prepared for the planning application. All dimensions for materials and construction shall be checked on site. Dimensions of trees shall be checked to ensure retention of all trees is maintained. The retention of trees shall be checked to ensure retention of all trees is maintained. The retention of trees shall be checked to ensure retention of all trees is maintained. The retention of trees shall be checked to ensure retention of all trees is maintained.

WARNING TO NOTIFICATIONS
CONSUMER PROTECTION FROM UNFAIR TRADING REGULATIONS 2008 (CPR) AND THE BUSINESS PROTECTION FROM MISLEADING MARKETING REGULATIONS 2008 (BPMR)

THE PARTS WALL ACT 1989
The Parts Wall Act 1989 requires that any wall or fence which is to be erected in a residential area shall be of a certain height and shall be of a certain construction. The wall or fence shall be of a certain height and shall be of a certain construction. The wall or fence shall be of a certain height and shall be of a certain construction.

TOTAL ACCOMMODATION

Shouksmiths (Building Service Engineers)	
GROUND FLOOR	211.83m ² /2,272 sq ft
FIRST FLOOR	268.00m ² /2,895 sq ft
SECOND FLOOR	148.82m ² /1,587 sq ft
SUB TOTAL	611.67m²/6,584 sq ft
Shouksmiths (Maintenance and Refrigeration)	
GROUND FLOOR	82.38m ² /887 sq ft
FIRST FLOOR	89.68m ² /965 sq ft
SECOND FLOOR	75.12m ² /809 sq ft
SUB TOTAL	247.19m²/2,661 sq ft
REMAINING OFFICE SPACE	
GROUND FLOOR	91.21m ² /978 sq ft
FIRST FLOOR	91.84m ² /989 sq ft
SECOND FLOOR	138.12m ² /1,497 sq ft
SUB TOTAL	322.33m²/3,470 sq ft
1,181.19m²/12,714sq ft OFFICE SPACE	
40 CAR PARKING SPACES	
22 CYCLE SPACES	
1,396.28m²/15,030 sq ft COMMERCIAL SPACE	
26 CAR PARKING SPACES (INC 6 EXTG RELOCATED)	
20 CYCLE SPACES	

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Client	JH SHOUKSMITH & SONS LTD MURTON WAY, YORK, YO19 5GS
Project	PROPOSED COMMERCIAL DEVELOPMENT MURTON WAY, YORK, YO19 5GS
Drawing	PROPOSED GROUND FLOOR PLAN SHEET 2 OF 2
Date	March 2023
Scale	Scale 1:100 @ A1
Status	PLANNING
Dwg No.	SHO-570-001 102

